

DRAWING LIST

DP0-0 COVER SHEET & SITE PLAN
DP0-1 CONTEXT MAP & LOCATION PLANS
DP0-2 STREETSCAPES
DP0-3 AREA PLANS
DP0-4 INCREASED DENSITY CHECKLIST
DP2-1 GROUND FLOOR & LEVEL 2 FLOOR PLANS
DP2-2 LEVEL 3/4 & LEVEL 5 FLOOR PLANS
DP2-3 ROOF PLAN
DP2-4 LANDSCAPE PLAN
DP2-5 LANDSCAPE PLAN
DP2-6 GROUND FLOOR - PARKING
DP2-7 GROUND FLOOR PLANS - PARKING
DP3-1 ELEVATIONS AND MATERIAL BOARD
DP4-1 BUILDING SECTIONS
DP5-1 RENDERINGS

PROJECT TEAM

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DRAWING SYMBOL LEGEND

DRAWING TITLE

1 View Name
A101 View Scale

BUILDING SECTION

1 Ref
A101

WALL SECTION

1 Ref
A101

DETAIL

1 Ref
A101

PROJECT NORTH ARROW

N

TRUE NORTH ARROW

N

WALL TAG

W1

ROOM TAG

Room name
101

DOOR TAG

101

WINDOW TAG

1t

EXTERIOR ELEVATION

AX-X

INTERIOR ELEVATION

AX-X

PROJECT INFORMATION

LEGAL DESCRIPTION:
LOT 1, SECTION 1, NANAIMO DISTRICT, PLAN EPP87077
PID:030-718-830

CIVIC ADDRESS:
337 ROBSON STREET
NANAIMO, BC

ZONING:
DT2

PROPOSED USE:
MULTIPLE FAMILY DWELLING (PERMITTED)
31 STUDIO UNITS

SITE COVERAGE:	PERMITTED 100%	PROPOSED 100%
FRONT YARD SETBACK:	0	0
REAR YARD SETBACK:	0	0
SIDE YARD SETBACK:	0	0

BUILDING HEIGHT:	12 M	16.08 M
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REQUEST FOR BUILDING HEIGHT VARIANCE, RE: DP3-1, TO ACHIEVE EXTRA DENSITY (4 UNITS, ROOFTOP TERRACE, COMMUNITY GARDEN)

SITE AREA: 497.6 M²	PERMITTED (2.3) 1144.5 M²	PROPOSED (2.48) 1232.7 M²
FLOOR AREA RATIO:		
ADDITIONAL DENSITY	(2.3+0.2 TIER 1) 1244 M², RE:DP0-4	

UNIT COUNT

30 m² UNITS	- 25 UNITS
31 m² UNITS	- 3 UNITS
34 m² UNITS (BF)	- 3 UNITS

TOTAL : 31 UNITS

PARKING (OFF-STREET PARKING REGULATIONS BYLAW 2018):

4.1 VEHICLE PARKING STALL DIMENSIONS:
90 DEGREES: 2.75 M x 5.80 M

4.2 VEHICLE PARKING STALL DIMENSIONS ABUTTING AN OBSTRUCTION:
AISLE WIDTH: 6.70 M
STALL ABUTS OBSTRUCTION (ONE SIDE): +0.3 M WIDE
STALL ABUTS OBSTRUCTION (BOTH SIDES): +0.6 M WIDE
STALL ABUTS A DOORWAY: +0.8M WIDE

STALL SIZES ARE MEASURED FROM THE EDGE OF THE OBSTRUCTION CLOSEST TO THE PARKING SPACE.

4.3 SMALL CAR SPACES:
90 DEGREES: 2.50 M x 4.60 M
AISLE WIDTH: 6.70 M

A MAX OF 40% OF REQUIRED PARKING SPACES MAY BE REDUCED TO ACCOMMODATE SMALL CARS.

SMALL CAR SPACES:	PERMITTED 6 MAX.	PROPOSED 5
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7.1 MULTIPLE FAMILY DWELLING PARKING TABLE
337 ROBSON STREET -AREA 5 (DOWNTOWN)

BEDROOMS = STUDIO/MICRO
0.45 STALLS REQUIRED PER UNIT
31 UNITS x 0.45 = 13.95

VEHICLE PARKING	REQUIRED 14	PROPOSED 11 (+3 RENTED OFF-SITE)
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7.4 VISITOR PARKING
MULTIPLE FAMILY RESIDENTIAL USE: DESIGNATED VISITOR PARKING STALL ASSIGNED AND IDENTIFIED AT A RATIO OF 1 SPACE PER 22 REQUIRED PARKING STALLS. THE NUMBER OF VISITOR PARKING STALLS COUNT TOWARDS THE TOTAL NUMBER OF REQUIRED OFF STREET PARKING SPACES.

VEHICLE PARKING	REQUIRED 1	PROPOSED 1
7.5 ACCESSIBLE PARKING	REQUIRED 1	PROPOSED 1
TABLE 6: 11-32 REQUIRED SPACES = 1 REQUIRED ACCESSIBLE STALL		
IN ADDITION TO TABLE 6, ONE ACCESSIBLE PARKING SPACE PROVIDED FOR EVERY RESIDENTIAL DWELLING UNIT INTENDED TO BE USED BY A PERSON WITH A PHYSICAL DISABILITY. 3 STALLS FOR 3 BARRIER-FREE UNITS.		
	REQUIRED 4	PROPOSED 1

ACCESSIBLE PARKING STALL SIZE: 3.70 M x 5.60 M

7.7 ELECTRIC VEHICLE PARKING
MIN 25% OF ALL REQUIRED OFF-STREET PARKING SPACES WITHIN COMMON PARKING AREAS FOR MULTIPLE HOUSING RESIDENTIAL SHALL HAVE SHARED ACCESS TO A LEVEL 2 ELECTRIC VEHICLE CHARGE RECEPTACLE.
(11 STALLS - 25% = 3 STALLS)

EV CHARGING	REQUIRED 3	PROPOSED 7 (4 EXTRA STALLS)
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ALL REMAINING STALLS TO BE WIRED FOR FUTURE EV CHARGING

7.6 BICYCLE PARKING:
MULTIPLE FAMILY DWELLING=0.1 STALLS PER UNIT(SHORT TERM) AND 0.5 STALLS PER UNIT (LONG TERM)

SHORT TERM:
RACKS OR BICYCLE LOCKERS MIN 0.3 M WIDE WITH MIN 1.2 M AISLE FOR VISITOR, CLOSE TO ENTRANCE.
LONG TERM:
MIN 0.6 M x 1.8 M WITH MIN 1.9 M VERTICAL CLEARANCE AND MIN 1.2 DEDICATED AISLE WIDTH. ALL LONG TERM BICYCLE STORAGE AREAS SHALL HAVE AN ELECTRICAL OUTLET FOR ELECTRIC BICYCLE CHARGING.
COVERED, WITH LOCKABLE DOOR.

SHORT TERM	REQUIRED 3	PROPOSED 4
LONG TERM	REQUIRED 16	PROPOSED 16

BUILDING CODE REVIEW

BUILDING IS DESIGNED IN ACCORDANCE WITH PART 3 OF THE BCBC 2018 MULTIFAMILY, 5 STOREY, SPRINKLERED BUILDING. BUILDING AREA = +/- 456 SQ.M 1 HOUR SEPARATION OF UNITS

BC ENERGY STEP CODE

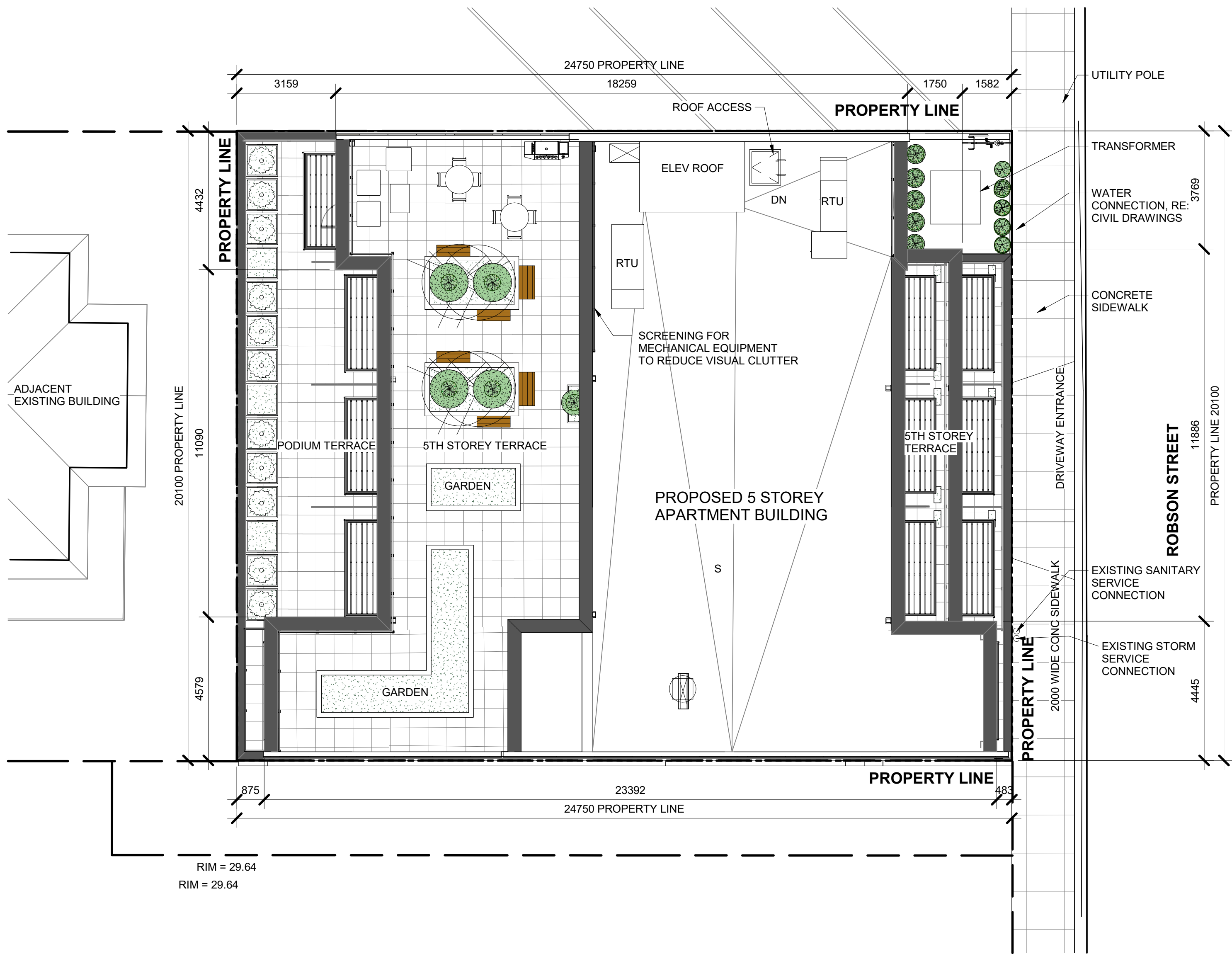
CITY OF NANAIMO BYLAW NO. 7224
29. BC ENERGY STEP CODE (7224.02)

4. 2022-JAN-01, A NEW BUILDING OR STRUCTURE TO WHICH **PART 3** OF THE BUILDING CODE APPLIES AND IS WITHIN THE SCOPE OF APPLICATION OF THE BC ENERGY STEP CODE AS DESCRIBED IN THE BUILDING CODE **MUST** BE DESIGNED AND CONSTRUCTED TO MEET THE PERFORMANCE REQUIREMENTS SPECIFIED IN **STEP 2 OF THE BC ENERGY STEP CODE**.

STEP 2 WILL PROVIDE ENERGY EFFICIENCY 20% TO 40% GREATER THAN THE CURRENT BCBC FOR PART 3 BUILDINGS.



LOCATION PLAN



1 SITE PLAN

DP0-0 1:100

ISSUED

DATE	REMARKS
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1	AUGUST 11, 2022	ISSUED FOR DP
4	DEC 18, 2023	ISSUED FOR DP
5	MARCH 12, 2026	ISSUED FOR DP

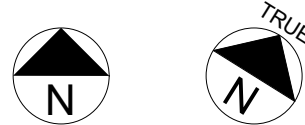
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DP1421
2026-MAY-13
Current Planning



ROBSON STREET
APARTMENT
NANAIMO, BC
337 ROBSON STREET

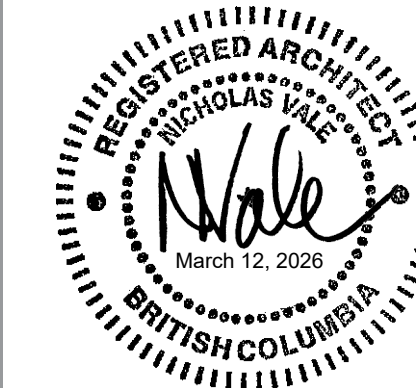
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Project Number 22-23



ISSUED	DATE	REMARKS
4	DEC 18, 2023	ISSUED FOR DP
5	MARCH 12, 2026	ISSUED FOR DP

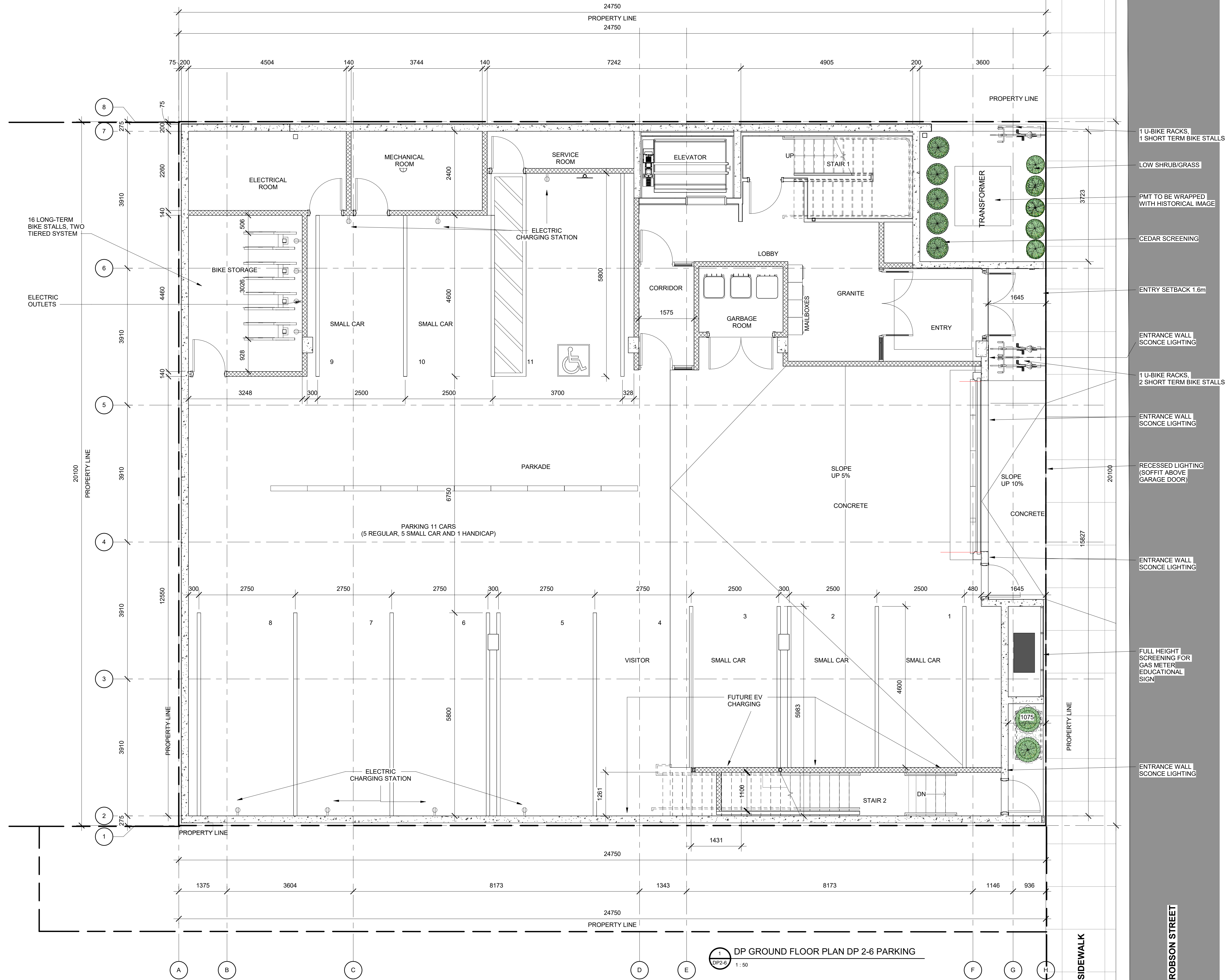
RECEIVED
DP1421
2026-MAY-13
Current Planning



ROBSON STREET
APARTMENT
NANAIMO, BC
337 ROBSON STREET

Drawn: NV Checked: NV
Project Number 22-23

DP2-6



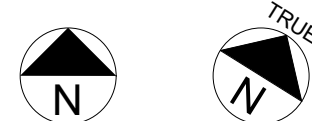
1 DP GROUND FLOOR PLAN DP 2-6 PARKING
DP2-6 1:50

BECK VALE ARCHITECTS + PLANNERS INC.

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permitted to executing the work. Discrepancies and variations shall be reported to the Consultant prior to commencing construction. In all cases, the latest issue of the drawing shall be used in the execution of the work. The Contractor shall ensure that all previous issues of this drawing are marked "Superseded" with reference to the latest issue, and used for reference purposes only.

All work shall conform to the latest editions of local Building Codes, jurisdictional codes and local ordinances. Drawing sheet numbers are prefixed as follows:
A = Architectural
S = Structural
M = Mechanical/HVAC
P = Plumbing
E = Electrical
FP = Fire Protection
L = Landscape
C = Civil

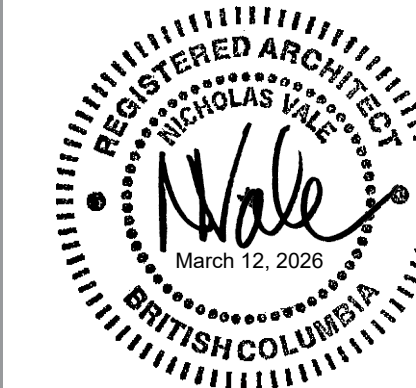


GROUND FLOOR - PARKING

ISSUED	DATE	REMARKS
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4	DEC 18, 2023	ISSUED FOR DP
5	MARCH 12, 2026	ISSUED FOR DP

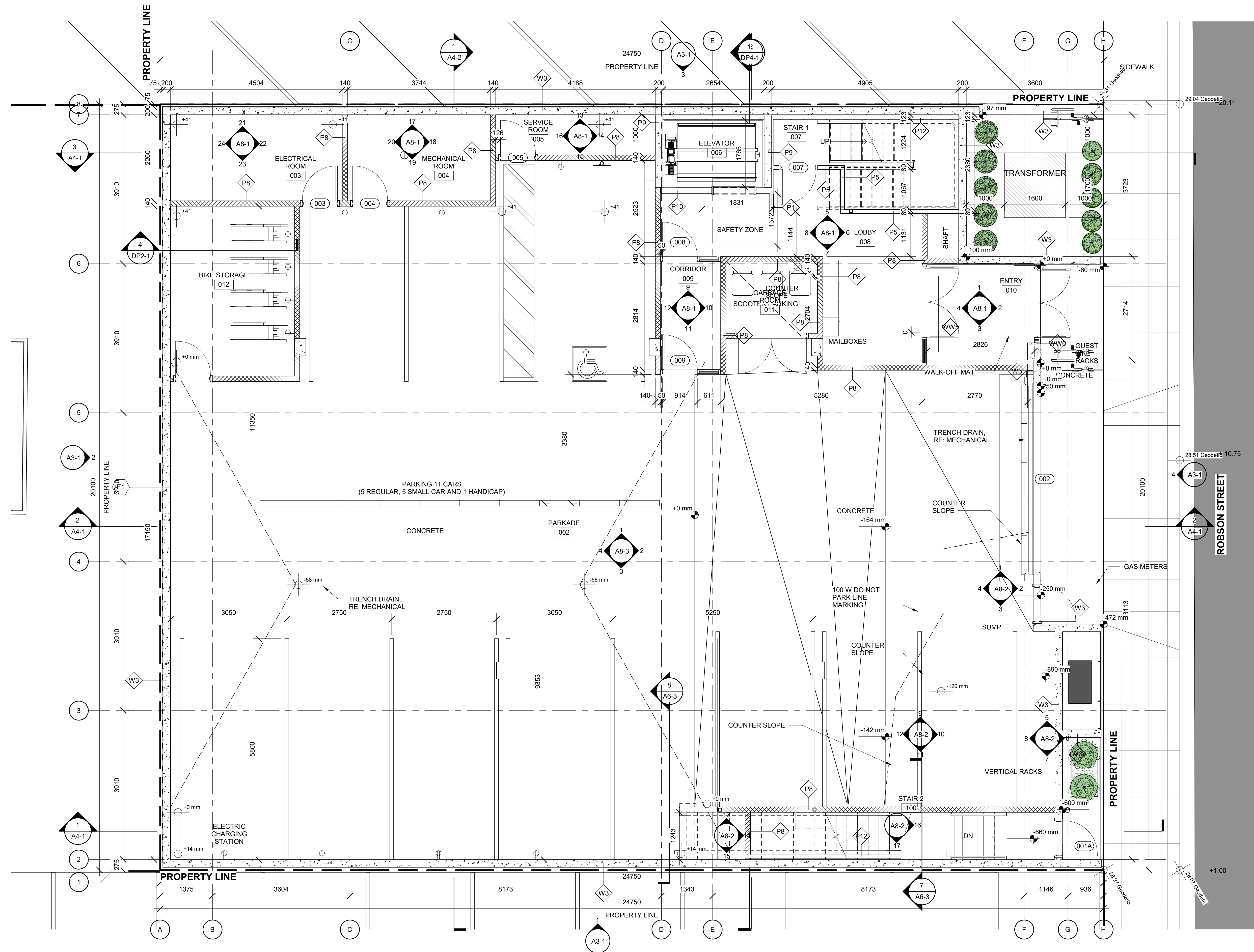
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ROBSON STREET
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NANAIMO, BC
337 ROBSON STREET

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Project Number 22-23

DP2-7



1 FLOOR PLAN - MAIN FLOOR DP PARKING
DP2-7 1:50

